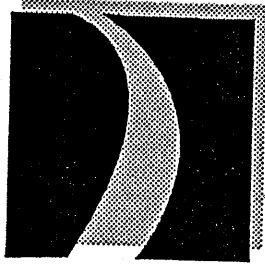


\$ 2.00

Signage Guidelines Manual




HIGHLAND RESERVE

A Master Planned Residential Community
Roseville, California
Final Submittal
September 9, 1993

Sign Planning By:



Marketshare Inc.
735 Sunrise Avenue, Roseville, CA 95661
(916) 773-7460 FAX (916) 773-7460



HLA GROUP
Landscape Architects/Planners
1990 Third Street, Suite 500, Sacramento, CA 95814
(916) 447-7400 Fax (916) 447-8270

Introduction & Contents

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1. PURPOSE & INTENT FOR THE GUIDELINES

Highland Reserve is a master planned residential community which will be distinguished by unifying landscape and architectural elements and a cohesive signage program that defines the character of the overall development. In order to ensure continuity, this document establishes a consistent framework for the design, fabrication, quantity and placement of these elements.

These guidelines are intended to aid the developer as a tool to foster the community's identity by outlining specific design criteria, and to serve its residents by assuring the high quality landscape and architectural design of Highland Reserve. All signs are to be approved by the Highland Reserve Design Review Committee and the City of Roseville prior to fabrication or installation.

2. SITE LOCATION

Located in the center of growth in the Sacramento metropolitan area, Highland Reserve lies in the northern fringe of the City of Roseville. The site is bounded on the north by Highway 65, on the east by Stanford Ranch Road / Harding Boulevard, on the south by the Diamond Oaks Municipal Golf Course, and on the west by Washington Boulevard. Highland Reserve is approximately twenty (20) miles north of downtown Sacramento, one hundred ten miles (110) east of San Francisco, and ninety (90) miles west of Lake Tahoe.

Sign Types

PERMANENT SIGNS:

- Sign Type P.1
- Sign Type P.3

DESCRIPTION

Main Entrance Signs. (2) Locations
 Village Entrance Piliasters with Plaques. Each Village Entrance

TEMPORARY SIGNS:

- Sign Type M.1
- Sign Type M.2
- Sign Type M.3
- Sign Type M.5

Primary Directional Ladder Signs. (3) On-Site, (7) Off-Site
 Secondary Directional Ladder Signs. (5) Locations
 Village Entrance Monument Signs. Each Village Entrance
 "Coming Soon" Informational Signs. (Community Facility Sites)

LIST OF SIGN TYPES: SUB-DIVISION SALES COMPLEX SIGNS

- Sales Office ID Sign
- Model ID Signs
- Sales Parking Directional Sign
- Flags and Flag Poles

(1) One allowed per Sales Complex, S/F or D/F
 (1) One allowed for each model. S/F only, post or wall mount.
 (1) One allowed at parking entrance. S/F or D/F
 (18) Eighteen allowed per Sales Complex.

Caslon Typeface to be utilized for all Highland Reserve Master Planned Community Sign Text.
Typeface is condensed at 80%. Normal Spacing for all lettering.

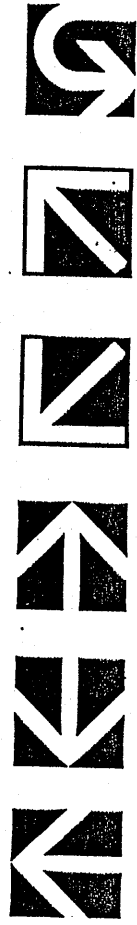
Caslon Roman

ABCDEFGHIJKLM
NOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz
&1234567890/,%#!

Caslon Bold

ABCDEFGHIJKLM
NOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxyz
&1234567890/,%#!

ARROWS



COLORS

Color Specifications

COLOR 1: COPPER PATINA

- Main Monument Cut-Out Letters.
- Main Monument Graphic (2nd Level)
- Pilaster Sign Plaque Insert Backgrounds.
- Directional Ladder Sign Structure Accents.
- Temporary Monument Sign Accents.

COLOR 2: GOLD METALLIC PAINT

- Main Monument Graphic (1st Level)
- Pilaster Sign Plaque Insert Copy and Graphic
- Directional Ladder Sign, Header Panel Logo.
- Informational Site Signs, Header Panel Logo.

COLOR 3: OFF-WHITE CREAM COLOR

- Main Monument Walls, Stucco Color
- Directional Ladder Sign Posts
- Temporary Monument Sign Structure Background

COLOR 4: SATIN OFF-WHITE PAINT

- Main Monument wall trim and pilaster caps
- All Pilaster Peaked Caps
- Directional Ladder sign Trim & Peaked caps.
- Informational Site Signs, Trim and Peaked caps.
- Temporary Monument Sign Structure, Trim and Peaked Caps.

COLOR 5: WHITE

- Directional Ladder Signs, Rider Backgrounds.
- Informational Site Sign Copy Panel Copy Color

COLOR 6: PANTONE 3302c GREEN

- Directional Ladder Sign Header Panel Backgrounds.
- Informational Site Sign Header Panel Backgrounds.

COLOR 7: BLACK

- Directional Ladder Sign Rider Sign Copy & Arrows
- Informational Site Sign Copy Panel Background

SITE PLAN: SIGN PLACEMENTS

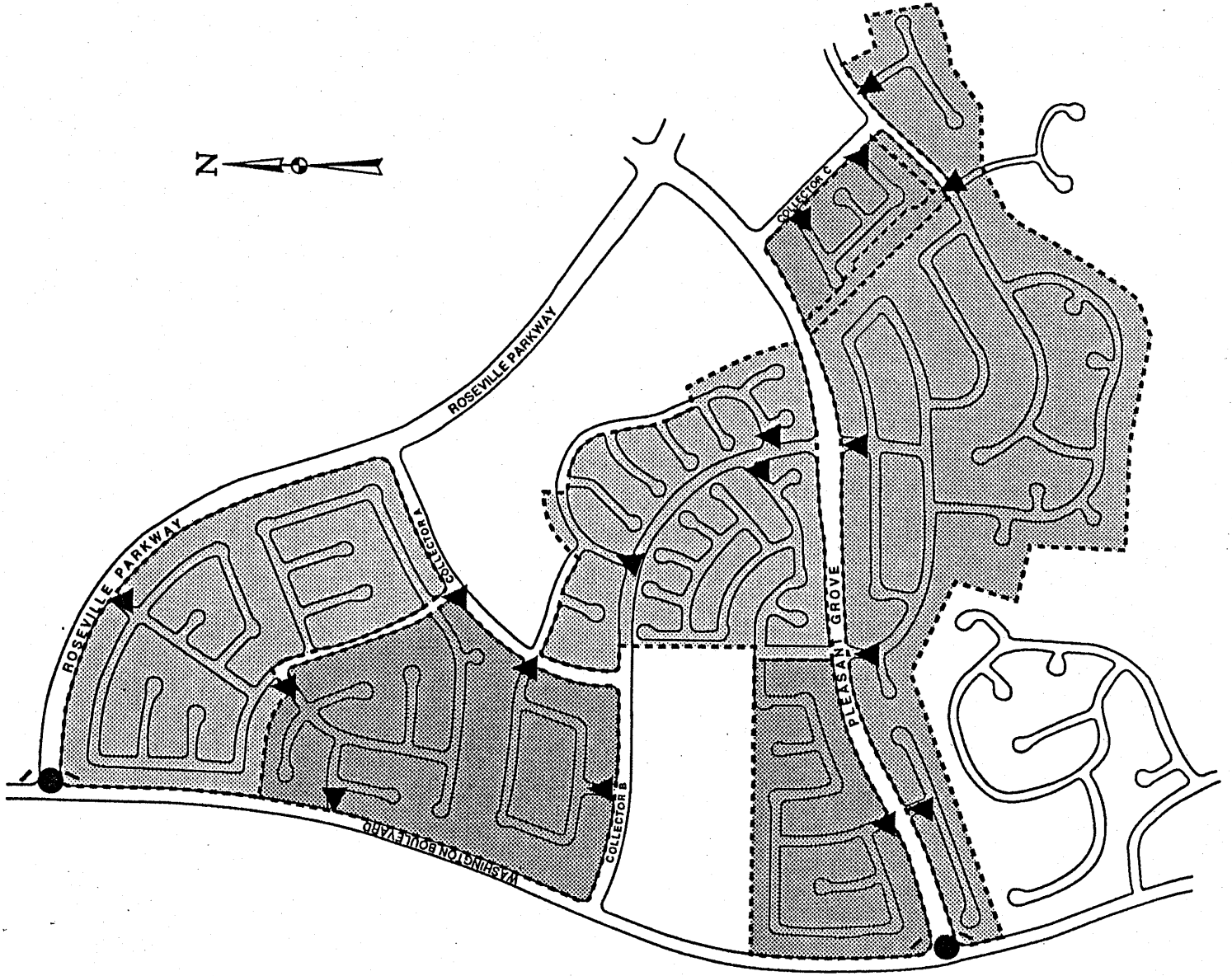
SIGN LEGEND:

Permanent Community Signs

- A Type P1: Main Community Entrance Monumentation: Letters on Wall
- * ▲ B Type P3: Village Entrance Plausters with Village ID Plaques

BUILDERS

- Ahmanson/SMC Villages
- Morrison Homes Villages
- Delta Diamond Oaks Four



* Conceptual Locations.
Final locations may vary depending upon Model Home/Sales complexes.

1. ENTRANCE MONUMENTATION - TWO LOCATIONS

Located on the corners of Pleasant Grove Boulevard as it intersects with Washington Boulevard and at the intersection of Roseville Parkway and Washington Boulevard, these gateway monuments will announce entry into Highland Reserve and establish a sense of arrival.

a. Monument Wall

These Community Entry Monuments will incorporate a low, curved sign wall and extensive accent landscaping as fundamental design elements.

I) size and shape --

The configuration and dimensions of the Main Community Entrance Monumentation are as indicated in the graphics in this section.

II) Placement and sight lines --

All landscape architectural and signage elements are to be installed in accordance with applicable sight distance and visibility requirements. Sign setback to be a minimum of half the overall sign height from property lines. Refer to the landscape detail drawings for additional information.

III) materials and colors --

Samples of all colors and finishes for the signage and monuments are to be submitted to the Highland Reserve Design Review Committee for approval prior to installation. Materials to be used for the site elements of the MainCommunity Entries shall be as indicated in the graphics in this section.

b. Sign and Graphic Elements

Sign to consist of individual cut-out letters and project graphic symbol mounted flush to wall in a tamper proof manner.

I) Typeface to match approved Highland Reserve Logotype.

II) Spell out Highland Reserve, include graphic plaque on one line.

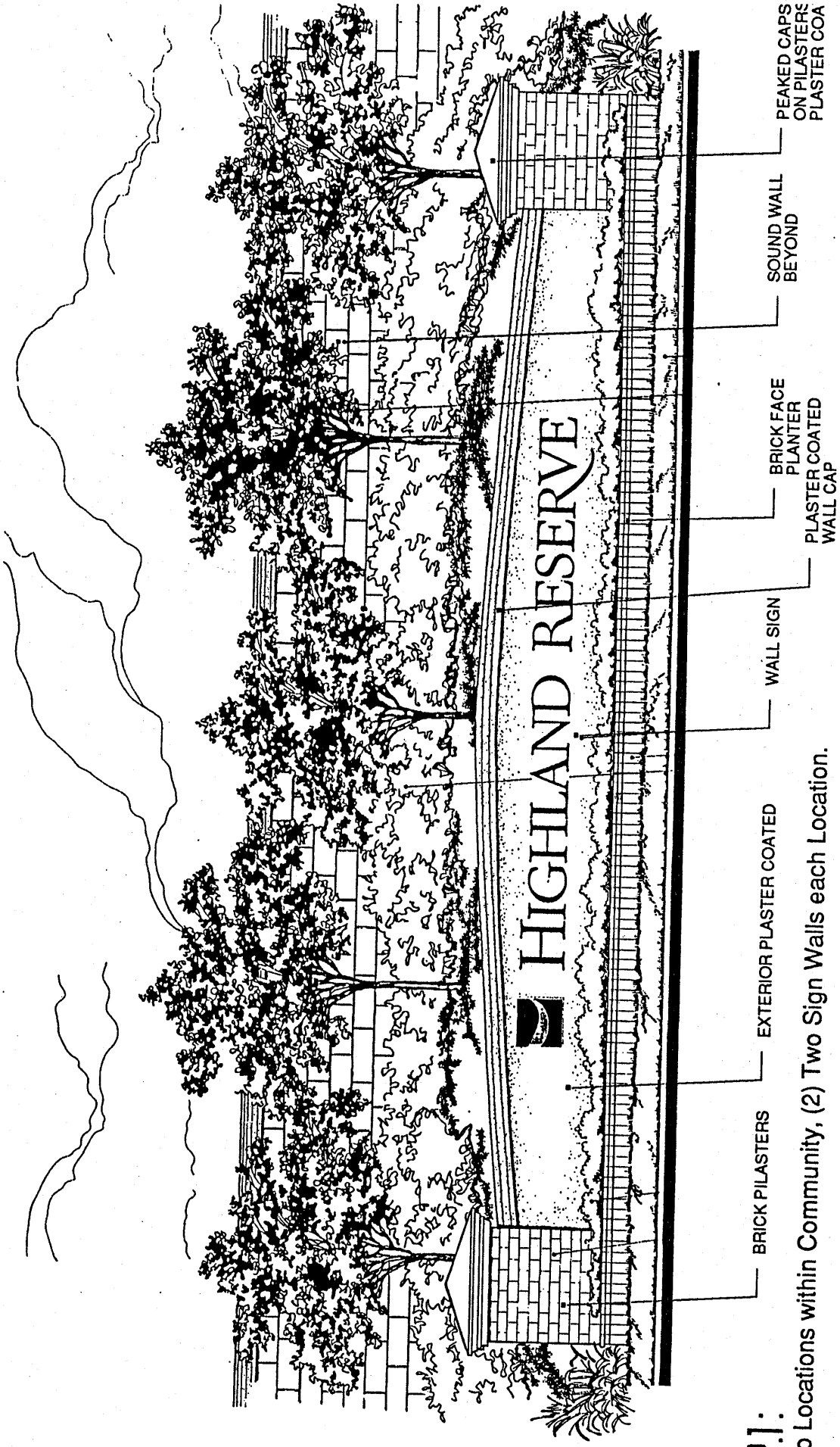
III) Cut-out 15 lb. foam letters, 1" thick.

IV) Threaded studs, back of letter through wall, fasten at back. Conceal fasteners.

c. Maintenance

Any vandalism, graffiti, cracked and peeling paint or plaster coating, broken or missing letters, brick, concrete or other elements shall be repaired or replaced immediately, to restore the Entry Monumentation to its original, installed condition. Repairs shall be made within two weeks of notification.

Sign Type P.1: Overall Elevation

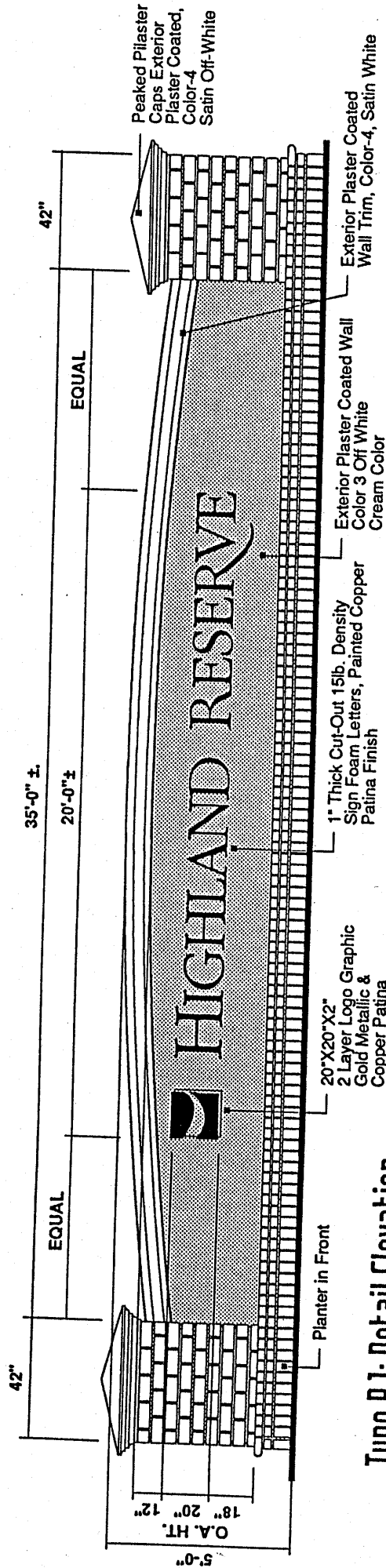


Type P.1:

(2) Two Locations within Community, (2) Two Sign Walls each Location.

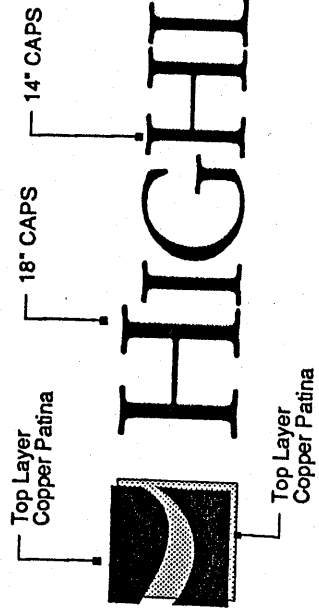
- BRICK PILASTERS
- EXTERIOR PLASTER COATED
- WALL SIGN
- BRICK FACE PLANTER PLASTER COATED WALL CAP
- SOUND WALL BEYOND
- PEAKED CAPS ON PILASTERS PLASTER COA

Sign Type P.1: Monument Wall Typical Sign Details



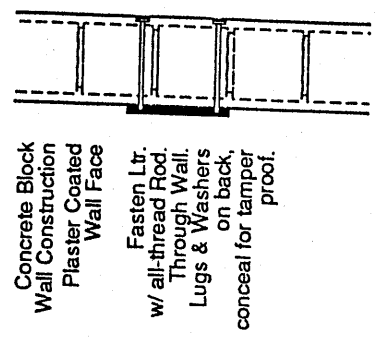
Type P.1: Detail Elevation

Free-Standing Convex Curved Monument Wall with Arch Top and Trim & Brick Pilasters at each end.
 Brick veneered landscape planter box in front.
 Sign wall to be exterior plaster coated concrete block wall with flush mounted Logo on wall face.
 Cut-Out and painted logo to be fastened from behind with threaded studs through wall. Conceal fasteners.

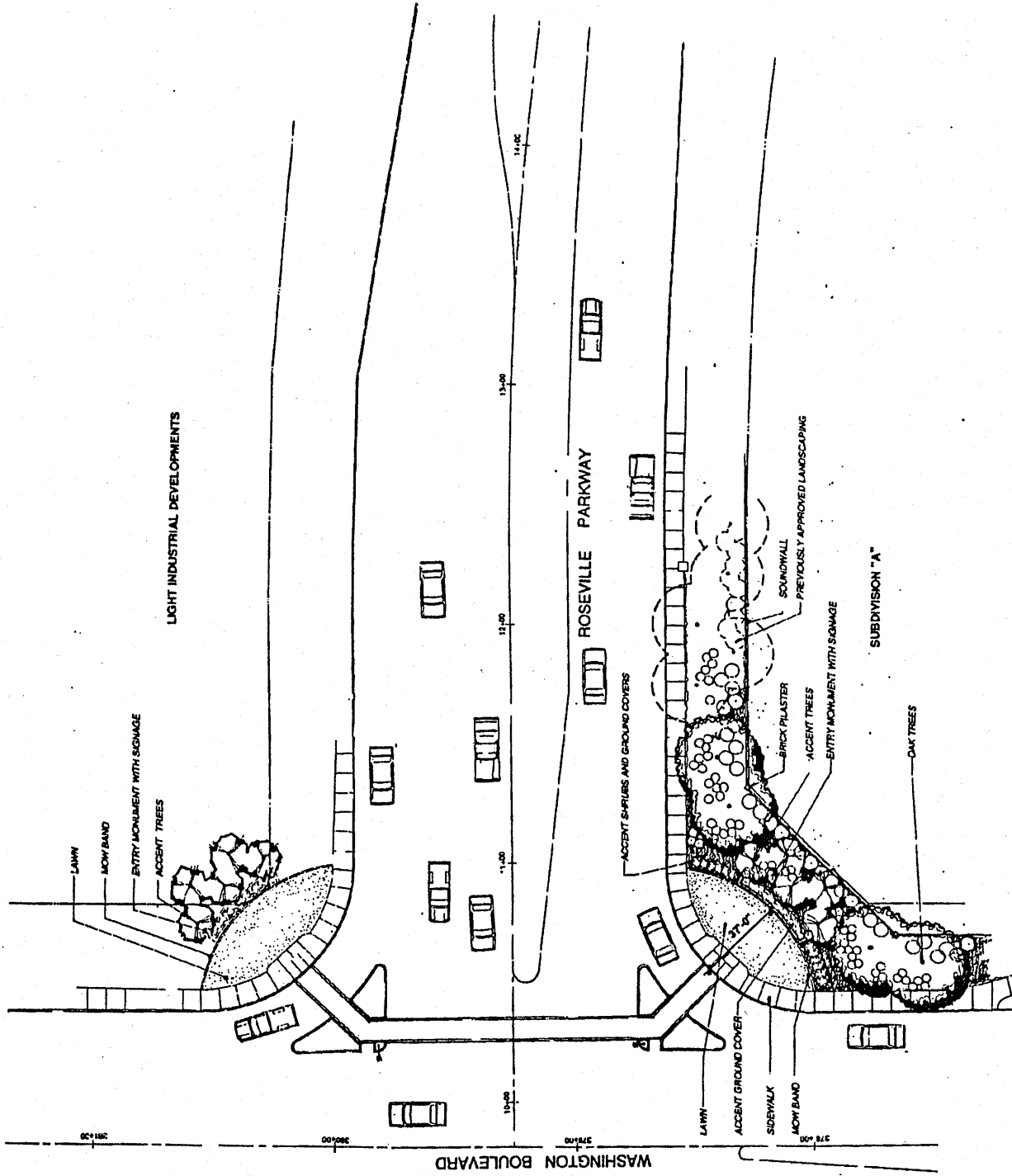


Type P.1: Detail Elevation

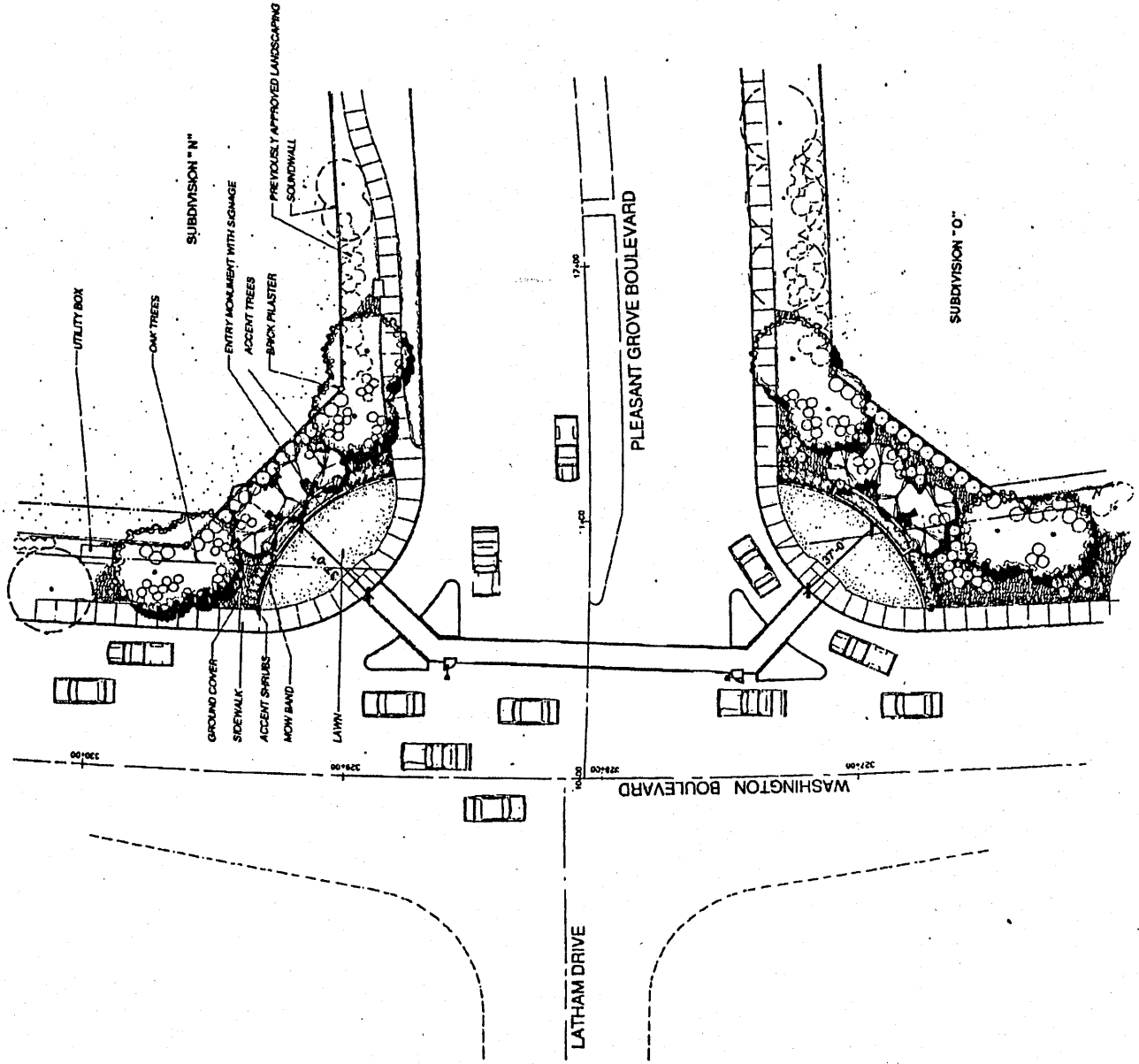
Free-Standing Convex Curved Monument Wall with Arch Top and Trim & Brick Pilasters at each end.
 Brick veneered landscape planter box in front.
 Sign wall to be exterior plaster coated concrete block wall with flush mounted Logo on wall face.
 Cut-Out and painted logo to be fastened from behind with threaded studs through wall. Conceal fasteners.



Sign Type P.1: Sign Placement at Roseville Parkway & Washington Boulevard



Sign Type P.1: Sign Placement at Pleasant Grove Boulevard & Washington Boulevard



VILLAGE ENTRANCE MONUMENTATION - 15 LOCATIONS

Located at the entries of Highland Reserve's residential communities, these elements will reinforce the Highland Reserve theme and integrate these individual villages into the overall community fabric. Ultimate locations of these entry features will be proposed by developers of residential parcels and approved by the Highland Reserve Design Review Committee. One (1) Village Entry Monument identifying and highlighting each distinct project's primary entry will be provided. Refer to the Sign Placement Site Plan for approximate locations.

a. Monument

Village Entry Monumentation will incorporate two (2) accent pilasters integrated within the masonry soundwall or wood fence design on each side of the entry road. Logo images will be integral to the sign plaque inset into brick sign pilaster.

I) size and shape --

The configuration and dimensions of the Village Entry Monumentation are as indicated in the graphics in this section.

II) Placement and sight lines --

All landscape architectural and signage elements are to be designed and installed in accordance with applicable sight distance and visibility requirements. Sign setback to be a minimum of half the overall sign height from property lines. Brick Sign Pilaster to align with centerline of sound wall or fence and be installed so face of brick is 6" from edge of concrete sidewalk.

III) materials and colors --

Samples of all colors and finishes for the signage and monuments are to be submitted to the Highland Reserve Design Review Committee for approval prior to installation. Materials to be used for the site elements of the Village Entry Monumentation shall be as indicated in the graphics in this section.

b. Sign and Graphic Elements

Sign to consist of individual square plaques inset mounted onto brick pilasters.

I) Typeface to match approved Highland Reserve Logotype.

II) Spell out Village Name, include Highland Reserve graphic on plaque. Up to three lines maximum, centered.

III) Signs are 1" 15 lb. density foam with routed out copy.

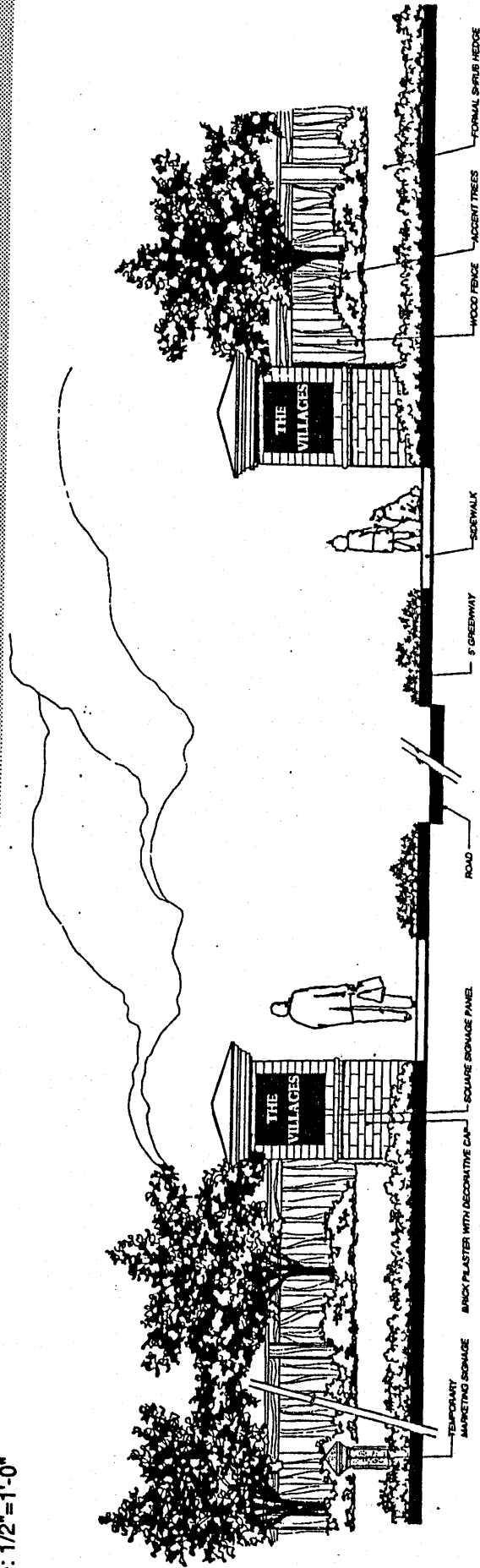
IV) Fasteners through sign into wall anchors. Conceal fastener heads.

c. Maintenance

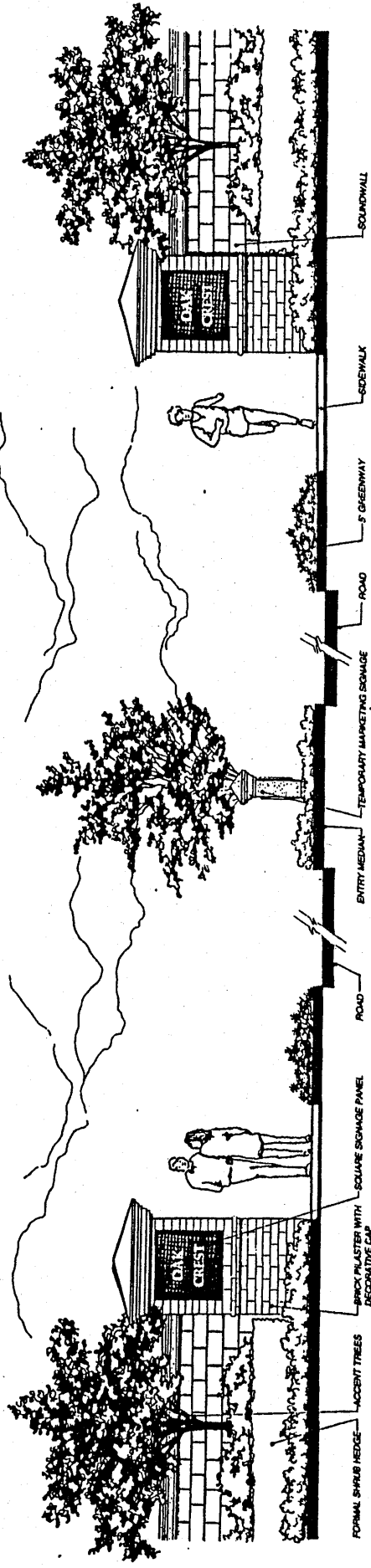
Any vandalism, graffiti, cracked and peeling paint or plaster coating, broken or missing signs, brick, concrete or other elements shall be repaired or replaced immediately, to restore the Interior Monumentation to its original, installed condition. Repairs shall be made within two weeks of notification.

Sign Type P.3: Overall Elevation

Scale: 1/2"=1'-0"



TYPICAL VILLAGE ENTRY OFF COLLECTOR



TYPICAL VILLAGE ENTRY OFF ARTERIAL

Type P.3:

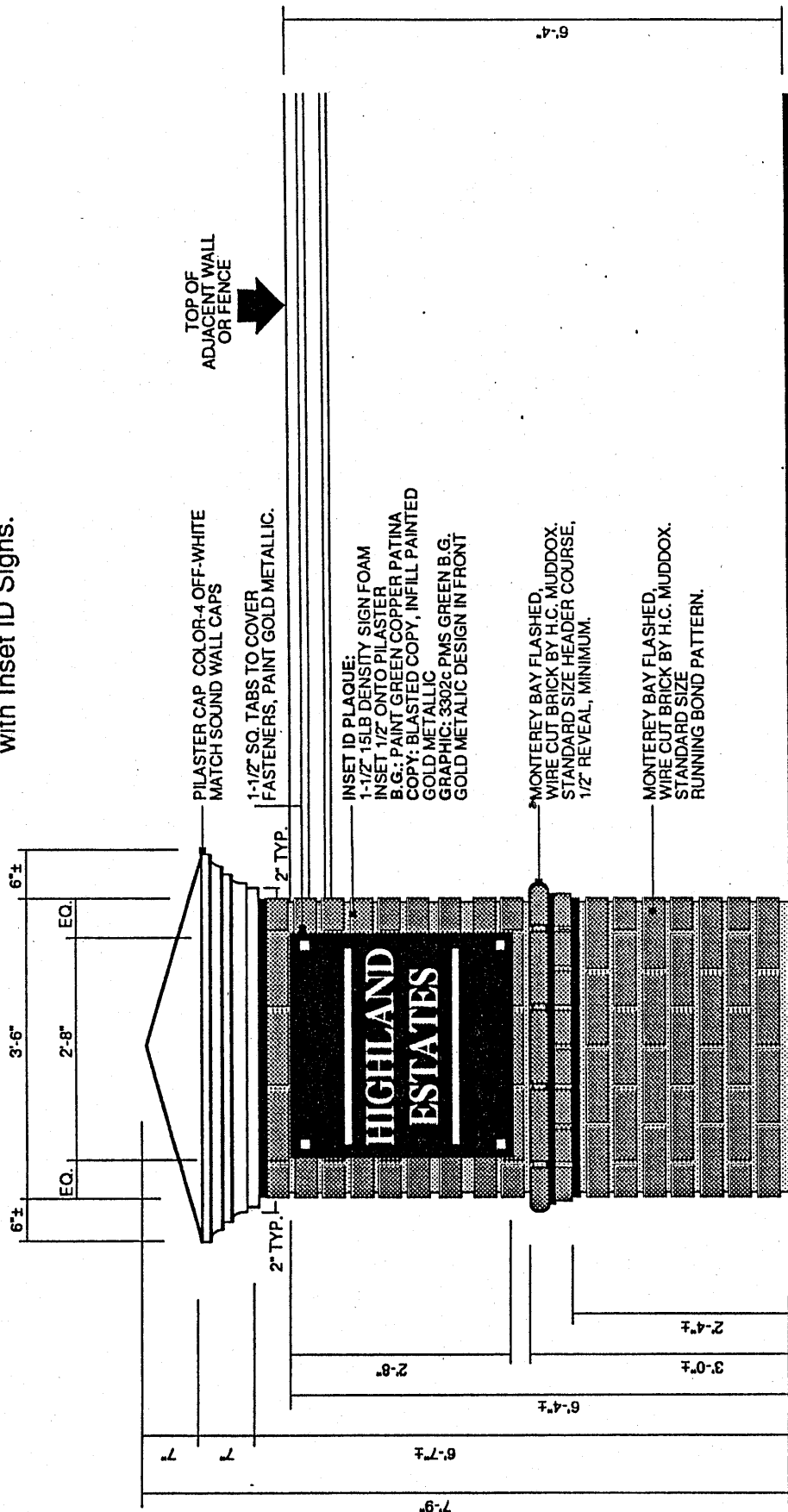
Pilasters at Village Entrances with Inset ID Signs.

Highland Reserve:
Sign Guidelines

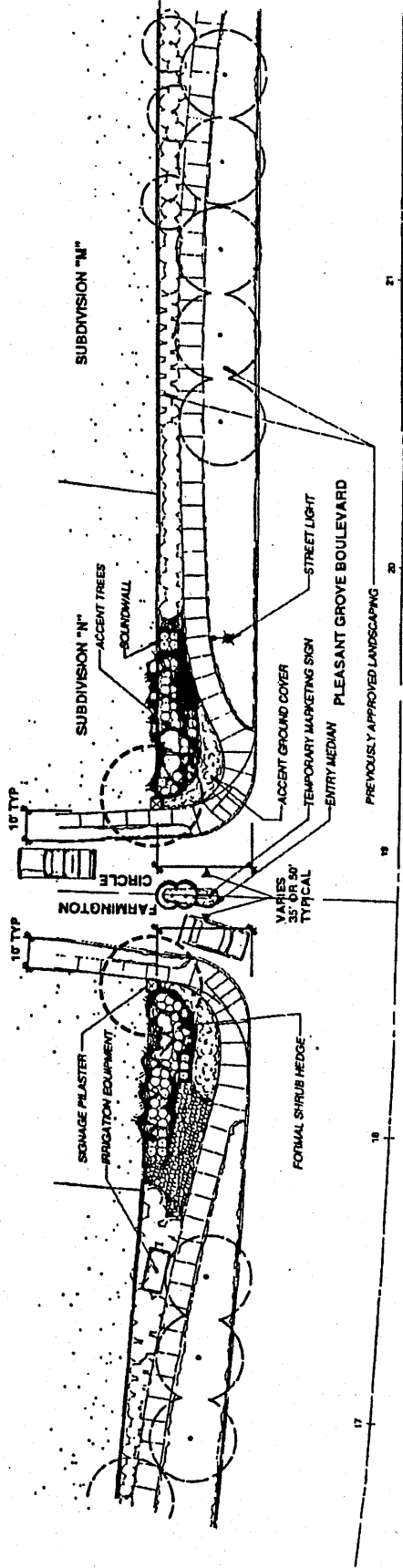
Sign Type P.3: Elevation & Specifications

Scale: 1/2"=1'-0"

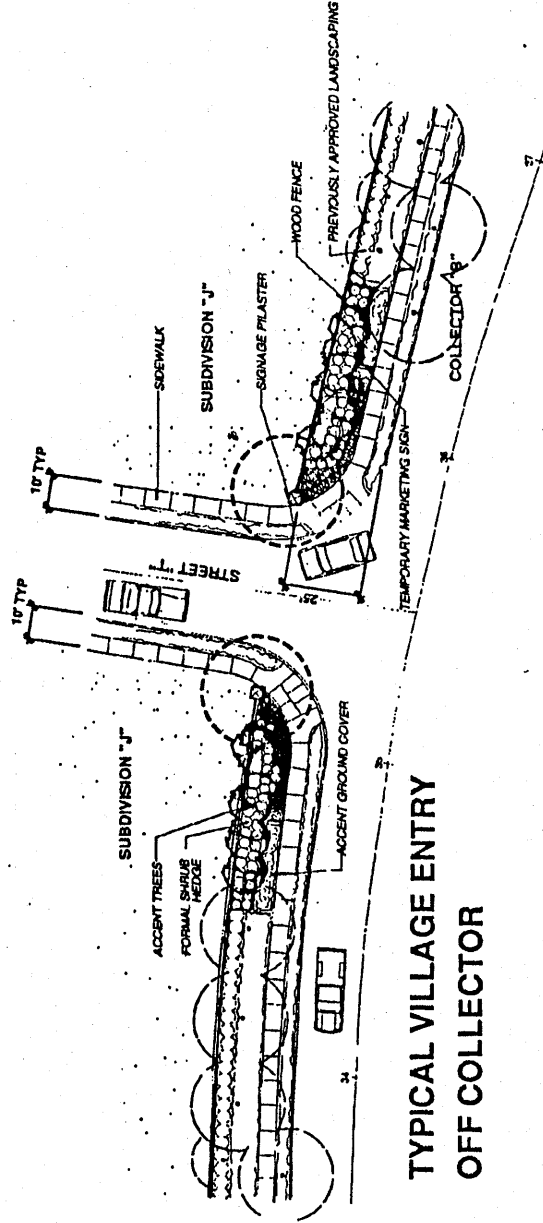
Type P.3: Pilasters at Village Entrances with Inset ID Signs.



Sign Type P.3: Typical Placement



**TYPICAL VILLAGE ENTRY
OFF ARTERIAL**



**TYPICAL VILLAGE ENTRY
OFF COLLECTOR**

Type P.3:
Pilasters at Village Entrances with Inset ID Signs.

Temporary Marketing Signs

1. USEAGE GUIDELINES

Signs considered to be of a temporary nature at Highland Reserve are those signs which will serve as directional, informational & identification devices for all planned development within the Highland Reserve Community. Directional signs will be in place throughout the entire buildout of master plan with the addition to and removal of individual village directional sign riders as required on an on-going and timely basis.

Informational Signs advertising planned construction shall be up-dated and removed as required by individual project status. Temporary Identification signs including all signs pertinent to marketing sub-divisions on-site shall be removed and landscape restored to blend with surrounding areas within 10 days after the conclusion of sales and marketing of said project. Temporary signs which are a part of the overall Highland Reserve Master Sign Program including all directional signs and planned master development informational signs shall be the responsibility of the Highland Reserve builder consortium. Temporary signs which are a part of individual sub-division development and marketing are the responsibility of the individual builder of the project.

Off-Site subdivision signs shall be placed no closer than 2,500 from each other, and a minimum of 1,000 feet away from all temporary marketing signs that are placed on roadway shoulders.

2. DESIGN INTENT

Temporary Marketing Signs incorporate elements from the permanent sign program and project soundwalls. Signs are representative of traditional architecture with decorative mouldings, edge treatments and peaked caps. Traditional theme is implemented in the color and finish scheme for structures, with satin white finishes and off-white color tones which match and compliment project soundwall colors. Sign panels and decorative accents feature a custom copper patina process paint which is intended to convey an old world charm to the traditional sign structures common throughout the community.

SITE PLAN: SIGN PLACEMENTS

SIGN LEGEND:

Temporary Marketing Signs

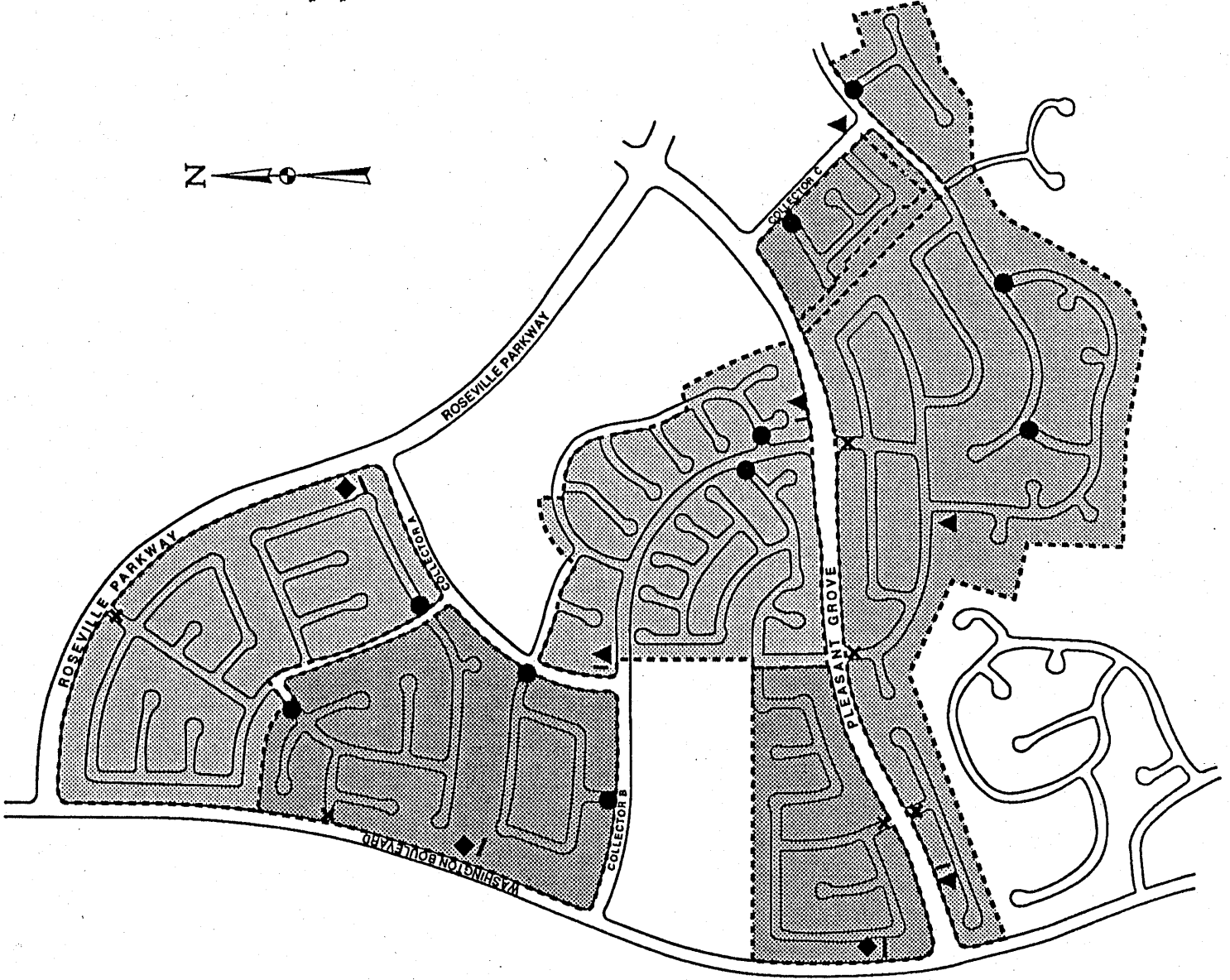
- ◆ Type M1: Primary Directional Ladder Sign (2500 Feet Apart)
- ▲ Type M2: Secondary Directional Ladder Sign (2500 Feet Apart)
- * X Type M3: Median Village Entrance Monument Sign. (1 Sign, in median)
- * ● Type M3: Shoulder Entrance Monument Sign (2 Signs, 1 each side of entry

Note: Signs M3, median and shoulder signs do not exceed one per 1,000 feet on each side of the road.

* Conceptual Locations only, locations may vary depending on number of subdivisions and final locations of model/sales complexes.

BUILDERS

- ▨ Ahmanson/SMC Villages
- ▨ Morrison Homes Villages
- ▨ Delta Diamond Oaks Four

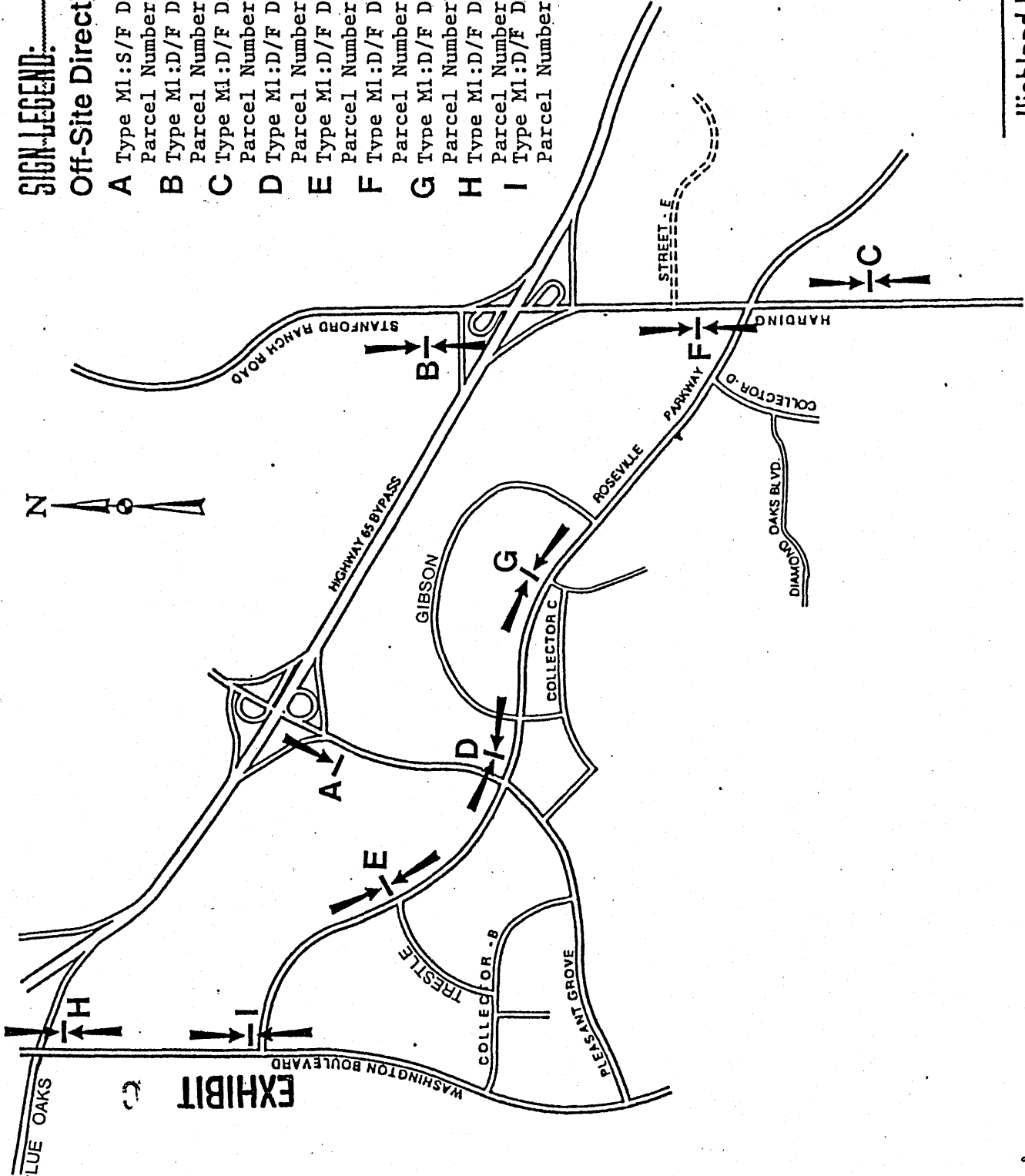


OFF-SITE PLAN: SIGN PLACEMENTS

SIGN LEGEND:

Off-Site Directional Signs

- A Type M1:S/F Directional Ladder Sign
Parcel Number: 363-020-005
- B Type M1:D/F Directional Ladder Sign
Parcel Number: 017-120-087
- C Type M1:D/F Directional Ladder Sign
Parcel Number: 015-160-047
- D Type M1:D/F Directional Ladder Sign
Parcel Number: 363-030-018
- E Type M1:D/F Directional Ladder Sign
Parcel Number: 363-02-003
- F Type M1:D/F Directional Ladder Sign
Parcel Number: 363-010-005
- G Type M1:D/F Directional Ladder Sign
Parcel Number: 363-010-014
- H Type M1:D/F Directional Ladder Sign
Parcel Number: 363-020-006
- I Type M1:D/F Directional Ladder Sign
Parcel Number: 363-020-006



APPROVED BY
PLANNING DEPARTMENT
CITY OF ROSEVILLE

OCT 3 1996

ATTEST: *[Signature]*

RECEIVED

AUG 28 1996

PLANNING DEPARTMENT

P S P P 0 6

Highland Reserve:
Sign Guidelines

Off-Site Temporary
Sign Location Map

Page: 17

M.1 Overview

A

EXHIBIT

These signs orient and direct vehicular traffic throughout the entire boundaries of the community and contain all Village Names with arrows as required by locations. The maximum number of Rider Signs on structures are five (5). Three (3) ON-SITE: One (1) Double-faced sign is located at the intersection of Collector A and Roseville Parkway. One (1) Double-faced sign is located on the east side of Washington Blvd. and north of the intersection with Collector B. Nine (9) OFF-SITE: One (1) Single-faced sign is located on the west side of Pleasant Grove Blvd., south of Hwy 65. One (1) Double-faced sign is located on the west side of Stanford Ranch Rd., north of Hwy 65. One (1) Double-faced sign is located on the east side of Harding Blvd., south of Roseville Pkwy. One (1) Double-faced sign is located on the north side of Roseville Pkwy., east of Pleasant Grove Blvd. One (1) Double-faced sign is located on the east side of Roseville Pkwy., opposite Trestle Dr. One (1) Double-faced sign is located on the west side of Harding Blvd., north of Roseville Pkwy. One (1) Double-faced sign is located on the north side of Roseville Pkwy., west of Gibson Dr. One (1) Double-faced sign is located on the east side of Washington Blvd., south of Blue Oaks Blvd. One (1) Double-faced sign is located on the east side of Washington Blvd., north of Roseville Pkwy.

APPROVE
PLANNING DEPT.
CITY OF ROSEVILLE
OCT 1996

Note: At no point will the 2500 foot minimum spacing requirement be violated.

a. Sign Structure

Individual Village Name and Arrow Sign Riders are mounted to permanent sign backing mounted between (2) posts with decorative treatments and capped off with Highland Reserve Identification Logo Sign and decorative peaked cap. I) size and shape -

The configuration and dimensions of the Primary Directional Ladder Signs are as indicated in the graphics in this section.

II) Placement and sight lines -

All signage elements are to be installed in accordance with applicable sight distance and visibility requirements. Sign setback to be a minimum of half the overall sign height from property lines. Refer to the landscape detail drawings for additional information.

III) materials and colors -

Samples of all colors and finishes for the signage are to be submitted to the Highland Reserve Design Review Committee for approval prior to installation. Materials & colors to be used shall be as indicated in the graphics in this section.

b. Sign and Graphic Elements

Sign to be constructed of premium wood products and industry approved sign foam products. All components are to be treated and finished for longevity and weather resistance.

- I) Typelaces are uniform and match approved Highland Reserve Logotype family.
- II) Header: Highland Reserve Logotype and Graphic.
- III) Rider Signs: Village & Builder Name with Arrow only.
- IV) Flush mount rider signs with counter sunk screws to permanent backer. Conceal fasteners.

c. Maintenance

Any vandalism, graffiti, cracked and peeling paint, broken or missing sign panels or other elements shall be repaired or replaced immediately, to restore the Directional Sign to its original, installed condition. Repaired within two weeks of notification.

P S P P 306-17

AUG 28 1996

M.2 Overview

These signs serve as a secondary directional system for vehicular traffic throughout the interior of the community and contain adjacent Village Names with arrows as required by locations. These signs are smaller in overall height as compared to the Primary Directional Ladder Sign. Five (5) On-Site Signs are located within the community. (See placement map, page 18) One (1) Off-Site sign is located on Pleasant Grove at Collector C.

a. Sign Structure

Individual Village Name and Arrow Sign Riders are mounted to permanent sign backing mounted between two (2) posts with decorative treatments and capped off with Highland Reserve Identification Logo Sign and decorative peaked cap.

I) size and shape --

The configuration and dimensions of the Primary Directional Ladder Signs are as indicated in the graphics in this section.

II) Placement and sight lines --

All signage elements are to be installed in accordance with applicable sight distance and visibility requirements. Sign setback to be a minimum of half the overall sign height from property lines.

III) materials and colors --

Samples of all colors and finishes for the signage are to be submitted to the Highland Reserve Design Review Committee for approval prior to installation. Materials & colors to be used shall be as indicated in the graphics in this section.

b. Sign and Graphic Elements

Sign to be constructed of premium wood products and industry approved sign foam products. All components are to be treated and finished for longevity and weather resistance.

I) Typefaces are uniform and match approved Highland Reserve Logotype family.

II) Header: Highland Reserve Logotype and Graphic.

III) Rider Signs: Village & Builder Name with Arrow only.

IV) Flush mount rider signs with counter sunk screws to permanent backer. Conceal fasteners.

c. Maintenance

Any vandalism, graffiti, cracked and peeling paint, broken or missing sign panels or other elements shall be repaired or replaced immediately, to restore the Directional Sign to its original, installed condition. Repairs shall be made within two weeks of notification. Repair and updating of rider sign panels shall be the responsibility of Highland Reserve Builder Consortium's signage contractor.

Located at entries of Highland Reserve's residential communities, these temporary monument signs reinforce and repeat elements of the permanent and temporary signage program with peaked caps, decorative mouldings and copper patina accents.

Village entrances located on Washington Blvd, Pleasant Grove and Roseville Parkway will have one (1) sign in the entrance median. Entrances on Collectors A & B and interior roadways will have one (1) sign on the side of the roadway adjacent to entrance intersection. (two total for each intersection)

a. Sign Structure

Monuments are constructed of 15 lb. density with peaked cap, decorative moulding and copper patina accents. Village Identification Sign Plaque to be flush inset mounted on structure.

I) size and shape --

The configuration and dimensions of the Temporary Village Entrance Monument Signs are as indicated in the graphics in this section.

II) Placement and sight lines --

All signage elements are to be installed in accordance with applicable sight distance and visibility requirements. Sign setback to be a minimum of half the overall sign height from property lines. Refer to the landscape detail drawings for additional information.

III) materials and colors --

Samples of all colors and finishes for the signage are to be submitted to the Highland Reserve Design Review Committee for approval prior to installation. Materials & colors to be used shall be as indicated in the graphics in this section.

b. Sign and Graphic Elements

Village Identification Sign Plaques to be Sintra or Sign Foam product. Graphics are to be either routed out or painted and applied in an industry approved manner.

I) Builders are allowed to use custom logo marks and typestyles unique to village identity.

II) Copy and Graphics are applied directly to identification panel which is mounted to monument structure.

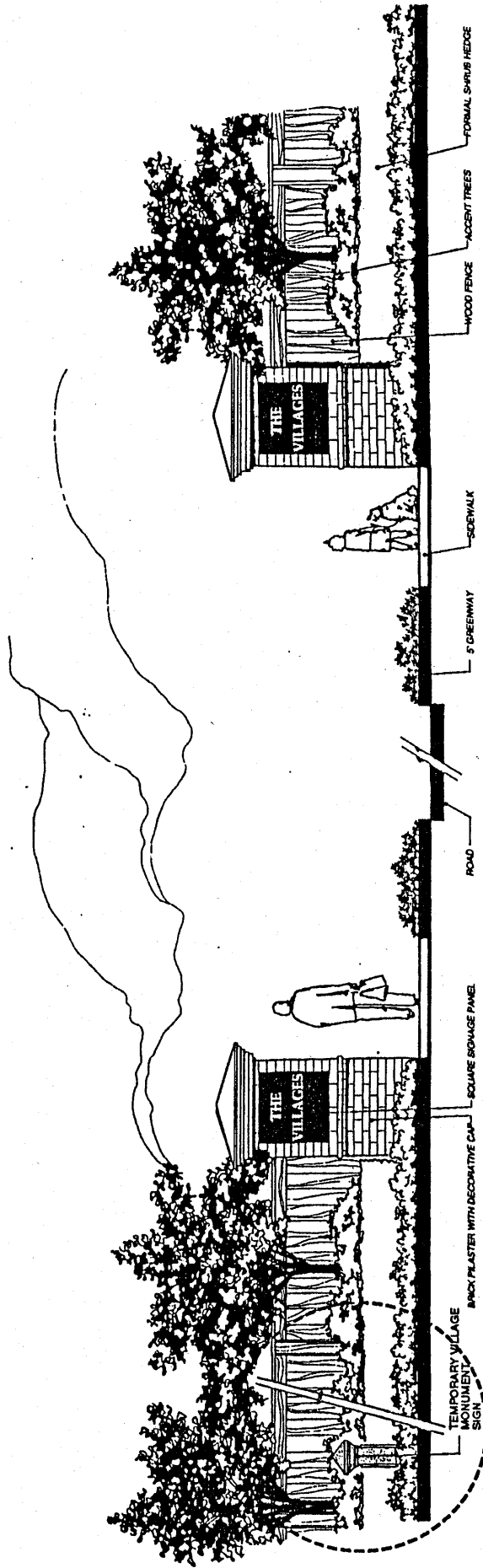
III) Rider Signs: Village & Builder Name with Arrow only.

IV) Flush mount identity signs to fit in inset area with counter sunk screws into structure posts. Conceal fasteners.

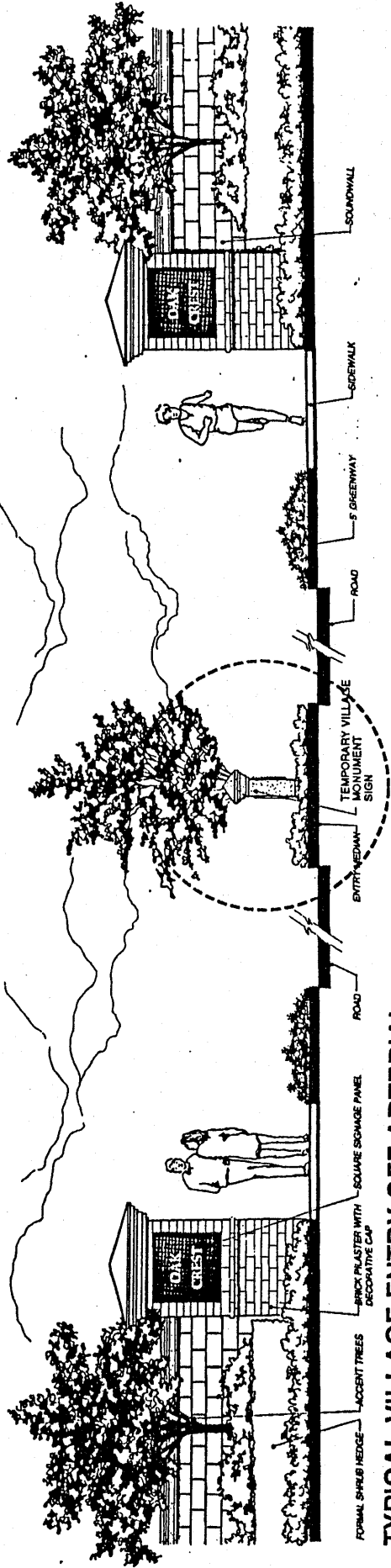
c. Maintenance

Any vandalism, graffiti, cracked and peeling paint, broken or missing sign panels or other elements shall be repaired or replaced immediately, to restore the sign to its original, installed condition. Repairs shall be made within two weeks of notification. Repair of identity sign panels and monument structure is to be the responsibility of Village Developer.

Sign Type M.3 Overall Elevation - Entrances



TYPICAL VILLAGE ENTRY OFF COLLECTOR

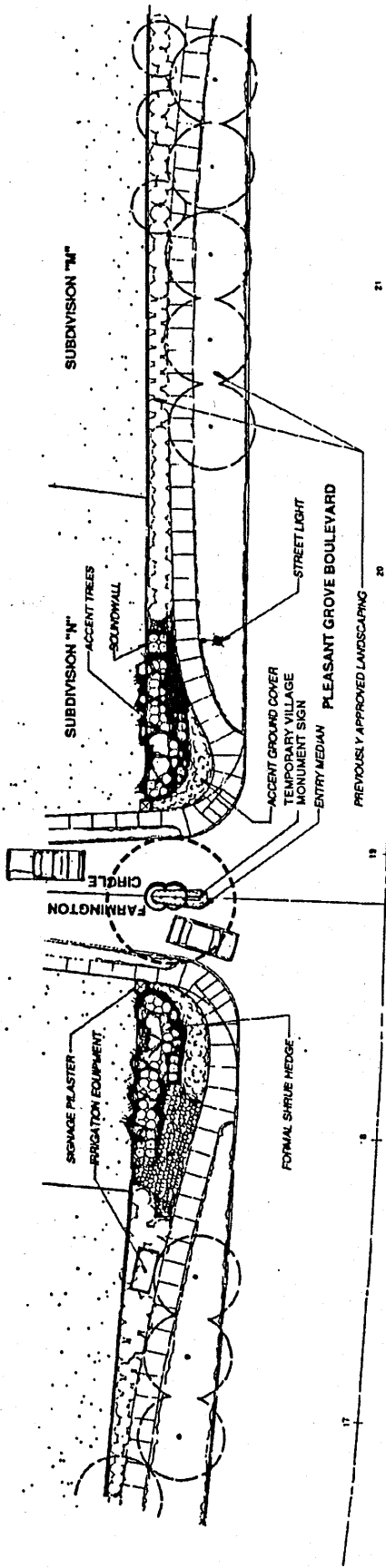


TYPICAL VILLAGE ENTRY OFF ARTERIAL

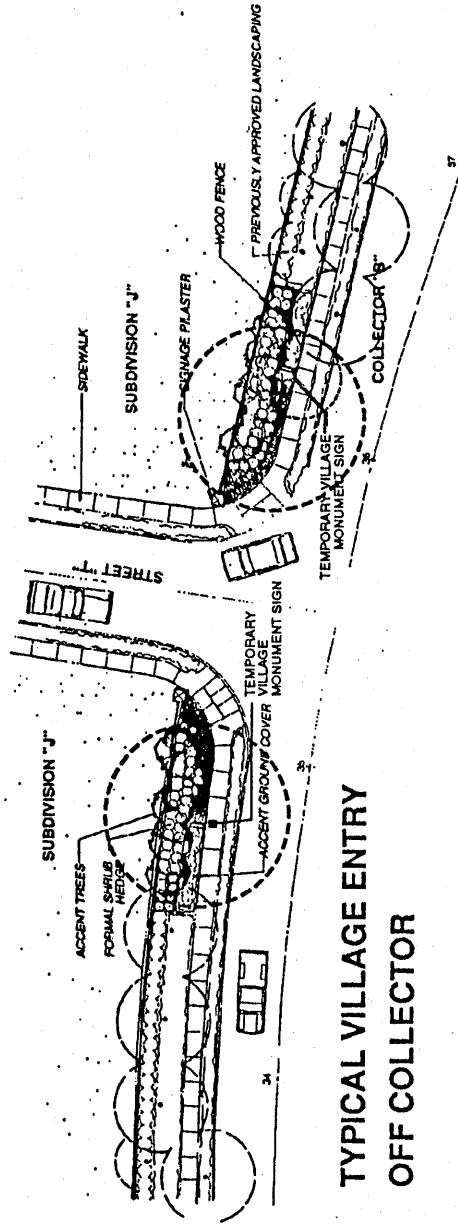
Type M.3:

Temporary Village Monument Signs, in median or on side of road.

Highland Reserve:
Sign Guidelines



TYPICAL VILLAGE ENTRY
OFF ARTERIAL



TYPICAL VILLAGE ENTRY
OFF COLLECTOR

These signs serve to inform of planned development or construction and are parcel specific in that they advertise and inform as to what is planned for that specific parcel.

a. Sign Structure

Informational Sign Riders are mounted to permanent sign backing mounted between two (2) posts with decorative treatments and capped off with Highland Reserve Identification Logo Sign and decorative peaked caps.

I) size and shape --

The configuration and dimensions of the Temporary Informational Signs are as indicated in the graphics in this section.

II) Placement and sight lines --

All signage elements are to be installed in accordance with applicable sight distance and visibility requirements. Sign setback to be a minimum of half the overall sign height from property lines.

III) materials and colors --

Samples of all colors and finishes for the signage are to be submitted to the Highland Reserve Design Review Committee for approval prior to installation. Materials & colors to be used shall be as indicated in the graphics in this section.

b. Sign and Graphic Elements

Sign to be constructed of premium wood products and industry approved sign foam products. All components are to be treated and finished for longevity and weather resistance.

I) Typefaces are uniform and match approved Highland Reserve Logotype family.

II) Header: Highland Reserve Logotype and Graphic.

III) Rider Signs: Informational copy as required.

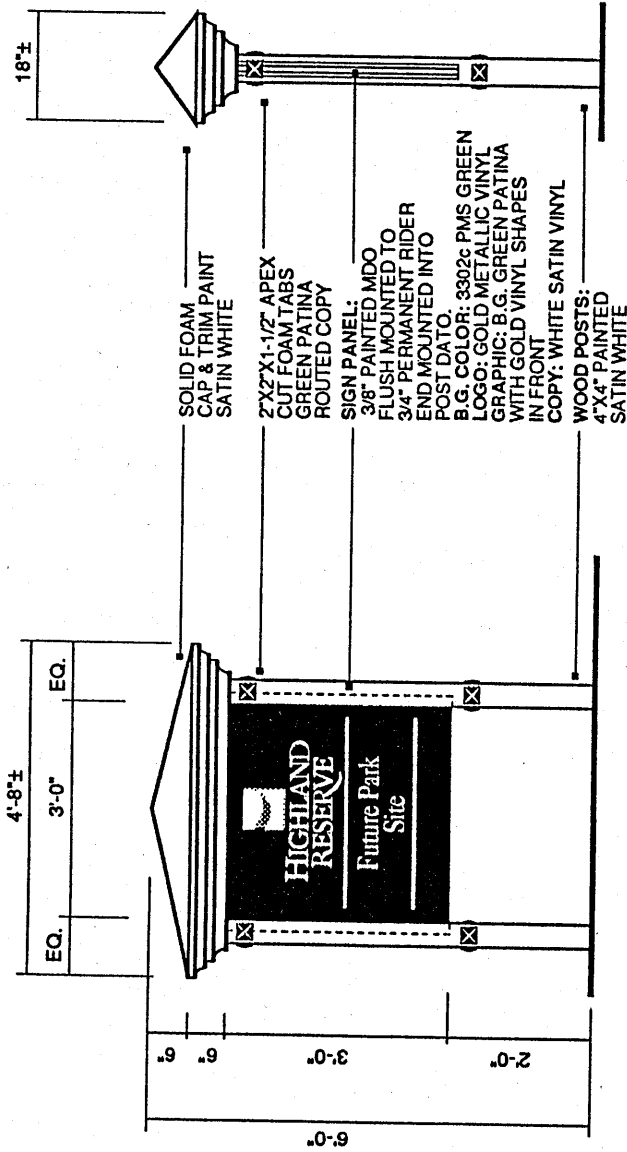
IV) Flush mount rider signs with counter sunk screws to permanent backer. Conceal fasteners.

c. Maintenance

Any vandalism, graffiti, cracked and peeling paint, broken or missing sign panels or other elements shall be repaired or replaced immediately, to restore the Informational Sign to its original, installed condition. Repairs shall be made within two weeks of notification. Repair and updating of rider sign panels shall be the responsibility of Highland Reserve Builder Consortium's signage contractor.

Sign Type M-5: Elevation & Specifications

Scale: 3/8" = 1'-0"



Type M.5:
On-Site Informational Sign
9 Sq. Ft.

Sales Office Identification

- a. Quantity
One (1) temporary sign per sales office is to be allowed.
- b. Size
Sign face area is not to exceed thirty-two (32) square feet with overall height not to exceed eight (8) feet. Single and double faced signs are allowable.
- c. Location
Locate sign adjacent to sales office entrance at a location clearly visible to visitors. Sign to be set back a minimum of ten (10) feet from vehicular right of way. Sign setback to be a minimum of half the overall sign height from property lines.
- d. Lighting
Low profile landscape lighting only, conceal with shrubbery. Housings to be painted to prevent reflective exposed metal and further conceal visibility. No internally illuminated lighting of sign panels is allowed.
- e. Materials
Sign shall be constructed of materials suited to estimated life expectancy. Materials selected should repeat architectural elements of product being marketed where possible with construction and fabrication being executed in a qualified manner by proven signage professionals. All elements of signs shall be treated and sealed as required by performance guidelines set forth by material manufacturers. Signs to be mounted and installed with proper anchorage.
- f. Design
Design should appear consistent with overall marketing program and tie in with other on-site signs in relationship to color, typestyle and shape.
- g. Allowable Copy
Copy may include Village Name and Graphic along with Builder Name (No Graphic) and one (1) line maximum for marketing descriptive information. No copy plant-on snipes are allowed.
- h. Maintenance
Each builder is responsible to maintain sign in a "like new" appearance. This shall include regular cleaning of structure, paint repairs and maintenance of surrounding landscaping.
- i. Installation and Removal of Sign
Signs to be installed by Builder's sign contractor. Builder to remove sign within 10 days of close of project.

Model Identification Signs

MODEL IDENTIFICATION SIGNS

a. Quantity

A total of one (1) one single-faced sign per model is to be allowed, wall or post mounted.

b. Size

Sign face area is not to exceed Three (3) square feet with overall height not to exceed Three (3) feet. Double faced signs are not allowed.

c. Location

Locate sign adjacent to model entrance no more than 15 feet from doorway. Sign setback to be a minimum of half the overall sign height from property lines.

d. Lighting

Low profile landscape lighting only. Conceal with shrubbery. Housings to be painted to prevent reflective exposed metal and further conceal visibility. No internally illuminated lighting of sign panels is allowed.

e. Materials

Sign shall be constructed of materials suited to estimated life expectancy. Materials selected should repeat architectural elements of product being marketed where possible with construction and fabrication being executed in a qualified manner by proven signage professionals. All elements of signs shall be treated and sealed as required by performance guidelines set forth by material manufacturers. Signs to be mounted and installed with proper anchorage.

f. Design

Design should appear consistent with overall marketing program and tie in with other on-site signs in relationship to color, typestyle and shape.

g. Allowable Copy

Copy may include model name, plan number and square footage information only. Graphic element from village logo is acceptable.

h. Maintenance

Each builder is responsible to maintain sign in a "like new" appearance. This shall include regular cleaning of structure, paint repairs and maintenance of surrounding landscaping.

i. Installation and Removal of Sign

Signs to be installed by builder's sign contractor. Builder to remove sign within 10 days of close of project.

Sales Parking Signs

SALES PARKING SIGN

- a. **Quantity**
A total of one (1) one sign per sales office is to be allowed.
- b. **Size**
Sign face area is not to exceed twelve (12) square feet with overall height not to exceed five (5) feet. Single-faced and double faced signs are allowed.
- c. **Location**
Locate sign adjacent to parking lot entrance no less than ten (10) feet from driveway and fifteen (15) feet from right of way. Sign setback to be a minimum of half the overall sign height from property lines.
- d. **Lighting**
Low profile landscape lighting only. Conceal with shrubbery. Housings to be painted to prevent reflective exposed metal and further conceal visibility. No internally illuminated lighting of sign panels is allowed.
- e. **Materials**
Sign shall be constructed of materials suited to estimated life expectancy. Materials selected should repeat architectural elements of product being marketed where possible with construction and fabrication being executed in a qualified manner by proven signage professionals. All elements of signs shall be treated and sealed as required by performance guidelines set forth by material manufacturers. Signs to be mounted and installed with proper anchorage.
- f. **Design**
Design should appear consistent with overall marketing program and tie-in with other on-site sign in relationship to color, typestyle and shape.
- g. **Allowable Copy**
Copy may include village name and graphic element along with the phrase "Sales Parking" and arrow.
- h. **Maintenance**
Each builder is responsible to maintain sign in a "like new" appearance. This shall include regular cleaning of structure, paint repairs and maintenance of surrounding landscaping.
- i. **Installation and Removal of Sign**
Signs to be installed by builder's sign contractor. Builder to remove sign within ten (10) days of close of project.

FLAGS AND FLAG POLES

**Additional Sales Office Signs
Allowed and Not Allowed**

a. Quantity

A total of eighteen (18) project flags and poles and one (1) American Flag and State of California Flag on single pole is allowed.

b. Location

Flags are permitted adjacent to sales/model complex within property lines of the developed village and outside of common landscape corridor areas.

c. Maintenance

Flags are to be replaced at first indication of fabric fading or fraying.

SIGNAGE NOT PERMITTED

a. Unless otherwise indicated in this document, signage elements specifically prohibited are as follows:

- I) Mechanical, moving signs of any type, as well as signs with audible elements, flashing or neon lights, and flying or inflatable signs such as kites and balloons.
- II) Banners or Placards.
- III) Weekend Bootleg Signs.
- IV) A-Frame Sidewalk Signs.

1. HIGHLAND RESERVE DESIGN REVIEW COMMITTEE

a. All proposed signage for developments within Highland Reserve are to be submitted to the Highland Reserve Design Review Committee (DRC) and the city of Roseville. The Highland Reserve DRC is an entity established to administer the standards and criteria set forth in the Highland Reserve Signage guidelines Manual. The Highland Reserve DRC shall have the authority to *approve, approve subject to conditions, or not approve* all plans required to be submitted for compliance to the standards and guidelines outlined in this document. The DRC shall have the authority to amend and/or establish new guidelines as required. All amendments and/or new guidelines shall be set forth in writing and recorded.

2. DESIGN REVIEW PROCESS AND SUBMITTAL REQUIREMENTS

a. Required plans shall be submitted by the applicant to the Highland Reserve DRC. The submissions shall be reviewed in an expeditious manner, not to exceed (30) thirty days. Applicant will be notified in writing of the decision of the DRC. If no response to the applicant is made within thirty (30) days the submittal, said submittal shall be considered approved.

b. All signs shall be reviewed for conformance with the criteria set forth in this document along with the overall design quality. Approval or disapproval of sign submittals based upon the aesthetics of the design shall aim the right of the Highland Review DRC.

c. Upon review of submittals by Highland Review DRC, the city of Roseville requires permits to be obtained by the applicant or the applicant's representative. All code required permits must be obtained prior to installation of sign(s). When applying for city of Roseville permits, applicants must include complete copy of the signage design package stamped "APPROVED" or "APPROVED SUBJECT TO CONDITIONS" by the Highland Reserve DRC.

d. Applicant must verify that all signage conforms to city, county and state regulations. Applicant shall be responsible for the fulfillment of all code requirements and specifications, including those of the city of Roseville and the Uniform Electrical Code.

e. Plan Submittal Requirements to the Highland Reserve DRC include:

- 1) (4) Four copies of professionally prepared scale construction drawings indicating monumentation ansignage size, copy layout, materials, colors, illumination and method of installation including post footings and attachments.

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